

**Urban Design Review**

# **Barton Street Monterey**

# Contents

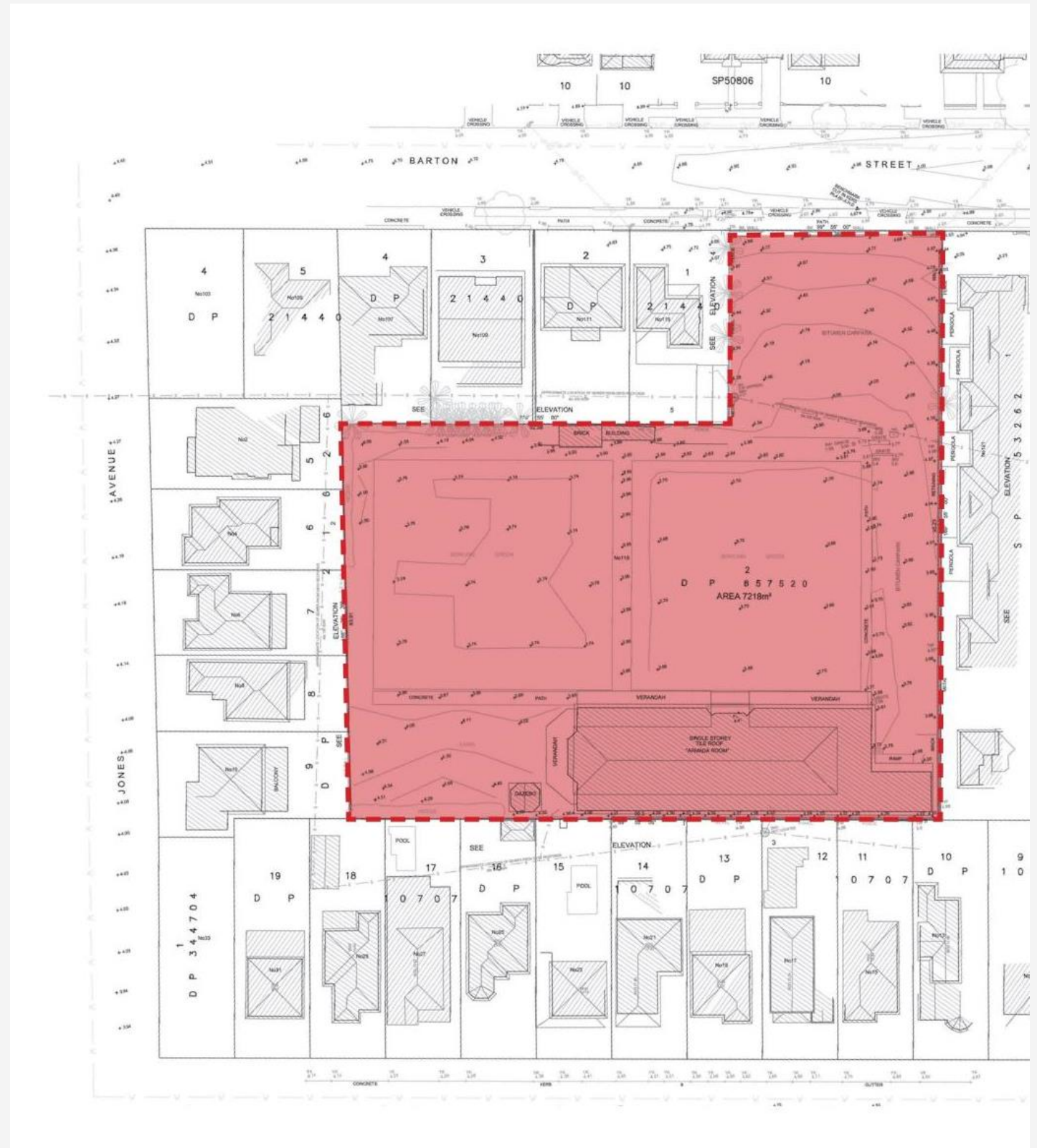
1. Overview
2. Urban Design Principles
  - a) Site context
  - b) Reference Built Form
  - c) Reference Masterplan
3. DA Proposal
  - a. Site Layout
  - b. Building Footprint and Landscaping
  - c. Height
  - d. Shadow Analysis
4. Summary and Recommendations

# Overview

The accompanying document is a review of the Development Application for Summitcare Monterey, Submitted by Boffa Robertson, and as amended to 8<sup>th</sup> November 2021.

The review encompasses consideration of the following

- Summary of the key Urban Design principles established through the development of the Reference Masterplan during the Planning Proposal preparation
- Review of the proposal against the Urban Design principles established during the initial rezoning of the site
- Review of proposal and identify opportunities to further develop and enhance the scheme



# Urban Design Principles

The subject site is a disused Bowling club, with the club building currently tenanted by the Greek Orthodox Church and surrounded by a variety of dwelling types ranging from 1 and 2-storey dwelling houses, and 2-storey medium density townhouses and villas.

The objectives of the initial Rezoning was to support

- Rezoning of the subject land to R3 Medium density residential consistent with that of the surrounding land
- Meet the objectives of the Rockdale Development Control plan through
  - sustainably accommodating population growth in an appropriate medium density location within proximity to public transport
  - Deliver high quality articulation of built form on a master planned site, and well-designed dwelling spaces

The Masterplan and accompanying planning proposal was initially prepared in 2018 and formally gazetted on 30<sup>th</sup> November 2020.



# Site Context

The site is surrounded by a variety of building forms and types.

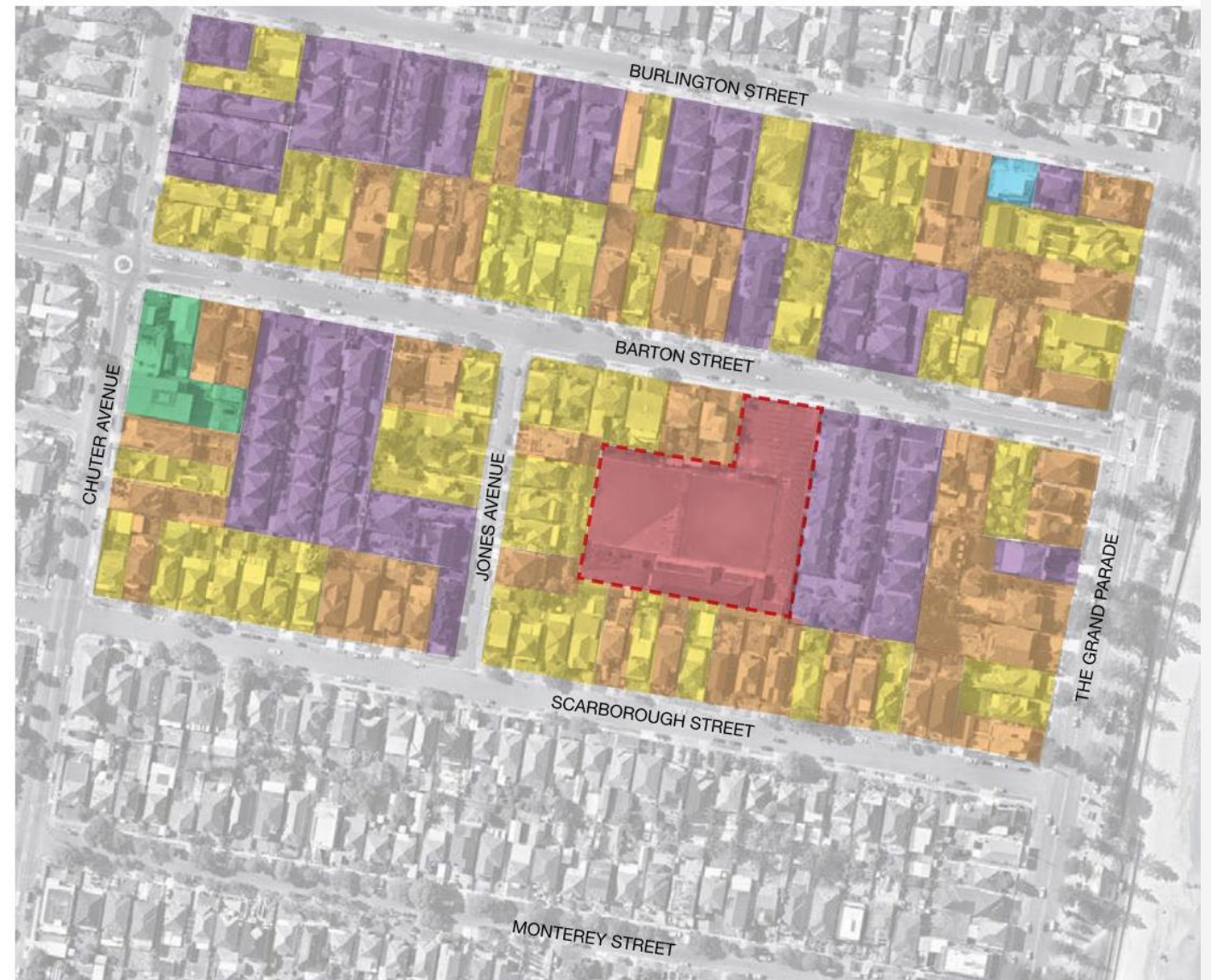
The perimeter streets are characterized by 1 and 2-Storey residential building forms with setbacks between 4-7m and limited front landscaping.

The depth of the blocks between Barton and Scarborough streets has led to the redevelopment of the central portions of sites for medium density townhouse type developments. These proposals have typically encompassed high site coverage with surface driveways and hardscaped areas, and limited landscaping.

Interface between these Medium density housing, and low-density free-standing dwelling houses varies, with typically minimum setbacks between houses and their neighbours of between 4-6m.

The sites directly abutting the subject site present their primary private open spaces, with a variety of landscaping and swimming pools.

This interface formed a key part of the development of the reference masterplan



## Legend

-  Subject Site
-  1 Storey Dwelling
-  2 Storey Dwelling
-  3 Storey Dwelling
-  Multi-Unit / Strata Title 1 / 2 Storey Dwelling
-  Industrial / Commercial

# Reference Built Form

The subject site's location in the depth of the block means that it has several sensitive interfaces with neighbours to consider

## Barton Street

The proposal needs to create a transition from the lower scale residential uses to the West along Barton street, and the higher density Multi-dwelling housing developments to the West.

## Eastern Boundary

The Multi-dwelling housing at 121 Barton street is located within proximity of the boundary, with corresponding close location of each of the strata dwellings primary private open spaces. Overshadowing, and privacy considerations need to be made.

## Southern Boundary

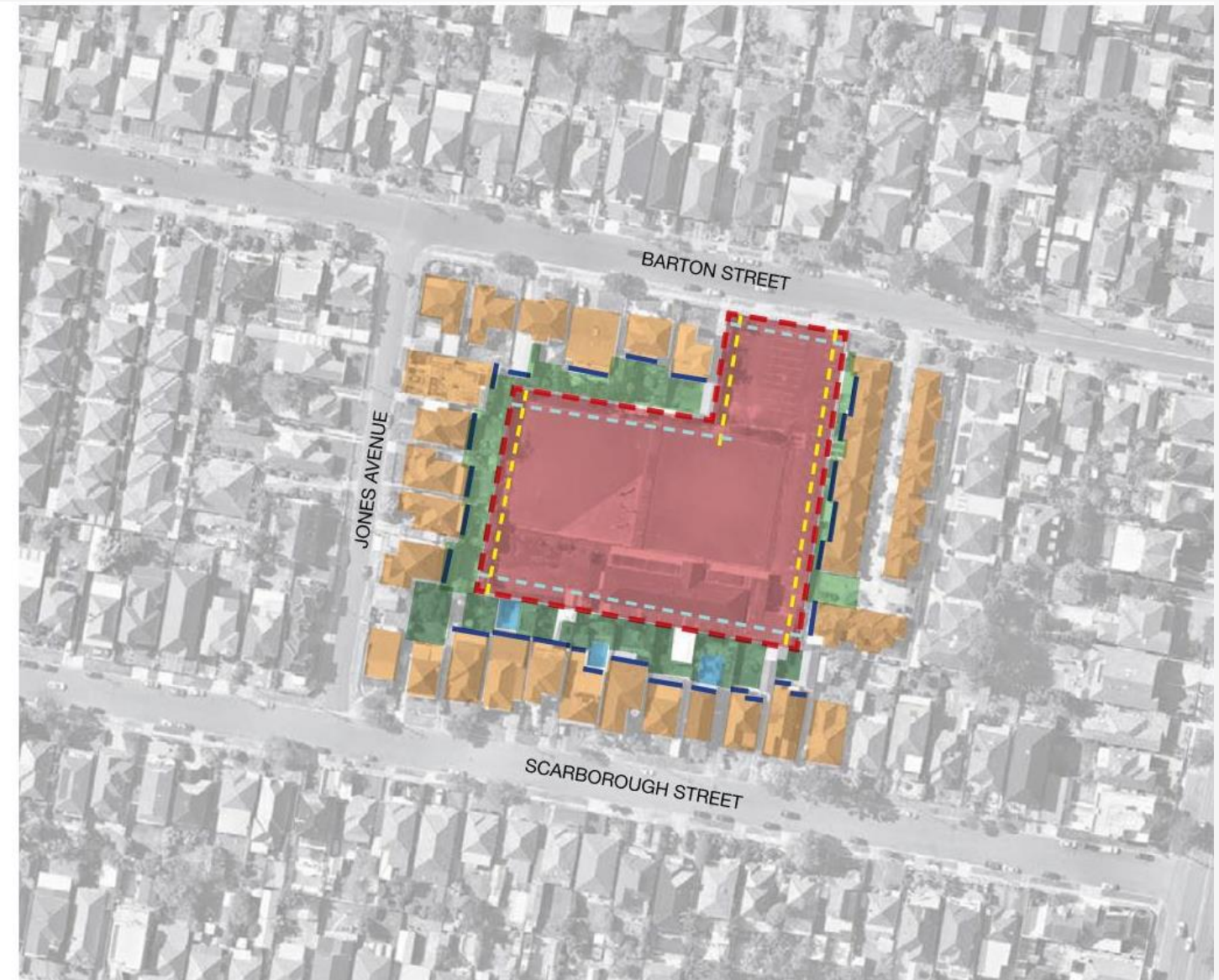
A shared boundary with 9 individual dwelling houses primary private open spaces currently enjoy direct Northern solar access. Any overshadowing implications need to be considered

## Western Boundary

Like the Southern boundary, the Western boundary to the properties along Jones Avenue needs to consider overlooking from any proposal on the subject site

## Northern Boundary

The rear boundaries of the properties on Barton street privacy needs to be balanced with the solar access onto the subject site.



### Legend

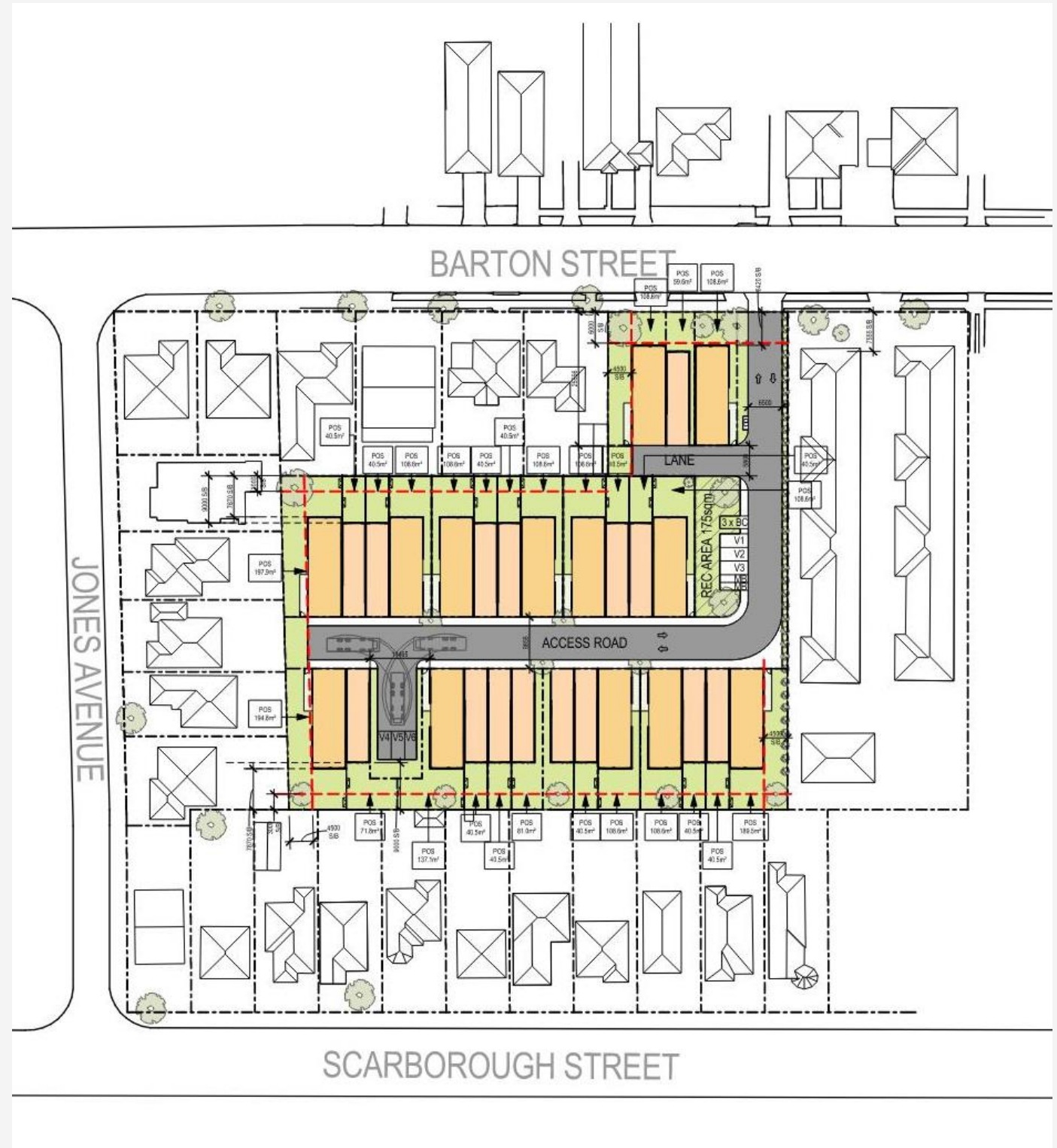
- |   |  |
|---|--|
|  Subject Site  |  Adjacent Low Scale Residential Buildings         |
|  Potential Windows on Neighbouring Property          |  Private Open Sapce in Neighbouring Property      |
|  Min. 4.5m Side Setback from Boundary                |  In-ground Swimming Pool in Neighbouring Property |
|  Min. 3.0m Rear Setback from Boundary (Ground Floor) |  |
|  6.0m Rear Setback from Boundary (First Floor)       |  |

# Reference Masterplan

As a result of the iterative Planning Proposal process, a reference masterplan was created to support the sites rezoning.

The key principles of this masterplan were the following

- Two-Storey Terrace style building forms, in clusters of 3-4 Houses.
- Separation of built form from neighbouring sites of min 4.5m to East and Western boundaries
- Street setbacks to Barton street of approx. 6m consistent with those of neighbouring buildings
- Location of driveway access point adjacent Multi-dwelling housing development at 121 Barton Street
- Access driveway with 900mm wide landscaping strip to Eastern boundary adjacent 121 Barton Street
- Central access road, with waste truck maneuvering in the South-western corner of the subject site
- Setback to Southern boundary of min 8m for 2-storey high buildings

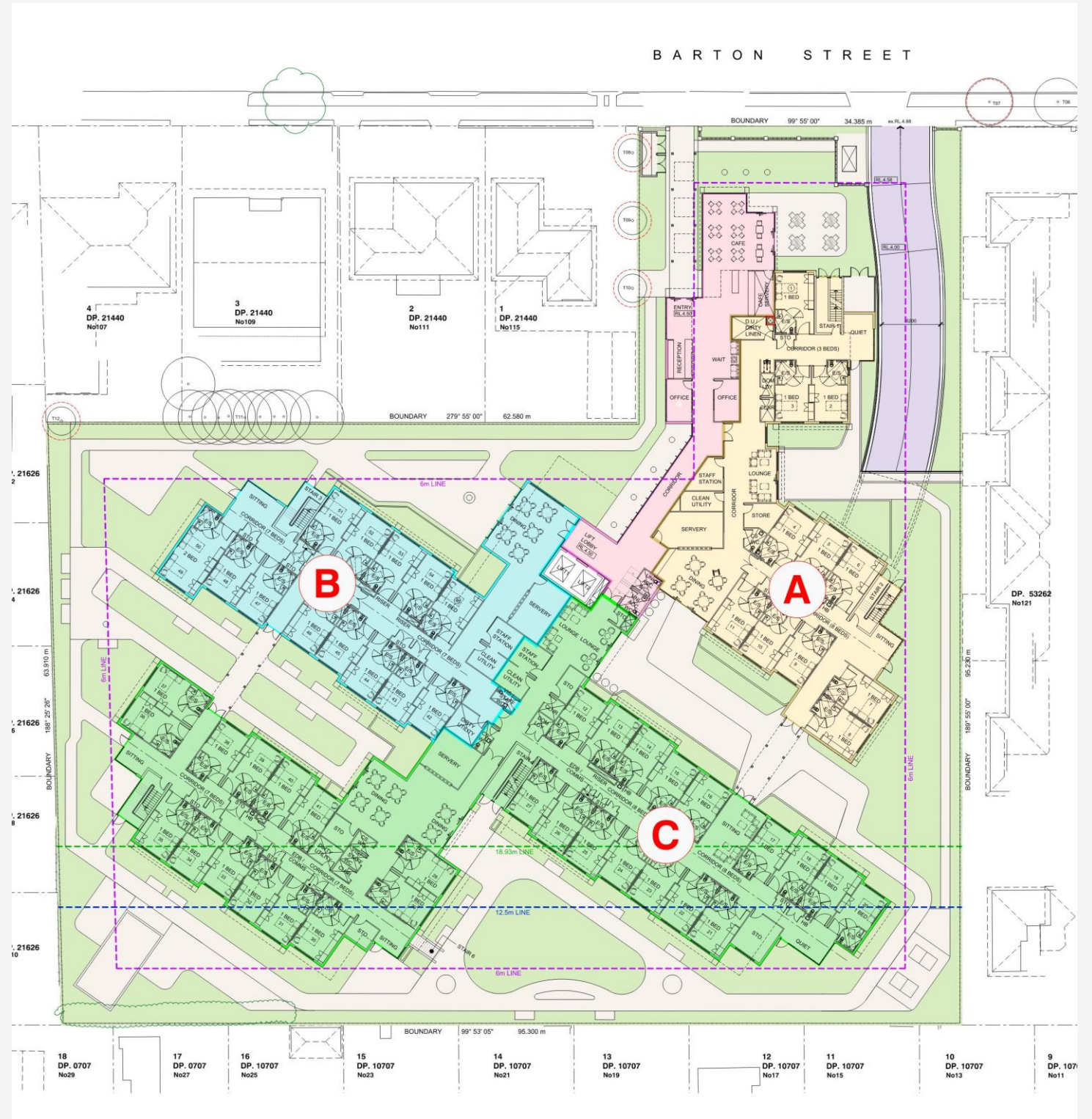


# DA Proposal

The DA proposal envisages an Aged care facility on the subject Site. By its nature, this requires a bespoke built form, different to that of the initial Planning proposal.

The scheme is therefore to be compared to the reference masterplan in terms of

- Building Footprint/Landscaped Area
- Separation and presentation to neighbours
- Overshadowing
- Acoustic and Visual Amenity



# Building Footprint

The key observed difference between the Reference masterplan and the DA submission is the building footprint.

The aged care typology requires a continuous and connected built form for operational and staffing reasons.

The building proposal submitted breaks the form into 4 distinct wings, rotated on the site.

The northern form has a varied setback to the street, relating to the prevailing setbacks, with the addition of a new landscape zone in the North-Eastern corner adjacent the driveway entry point.

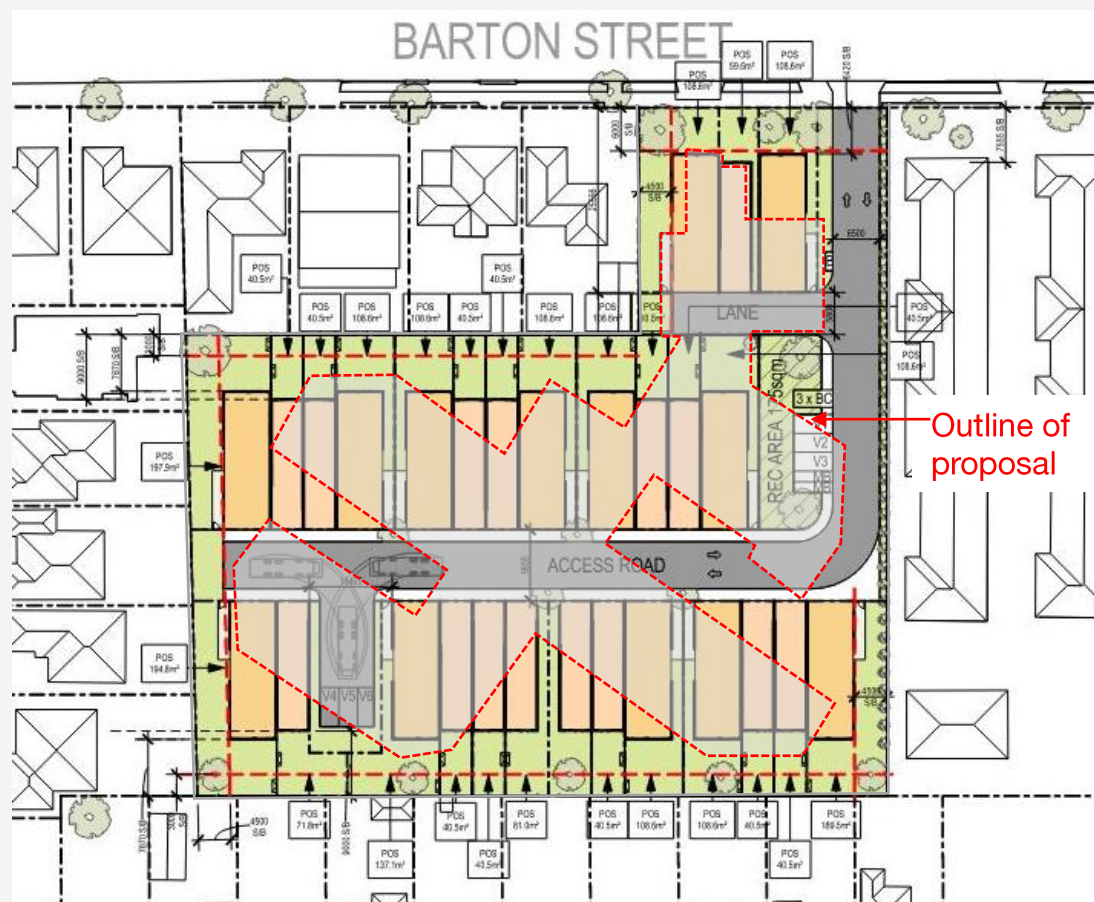
The rear building forms differ from the endorsed masterplan through the creation of 3 rotated and interconnecting wing forms.

These wings maintain similar, or in some cases great setbacks and separation to

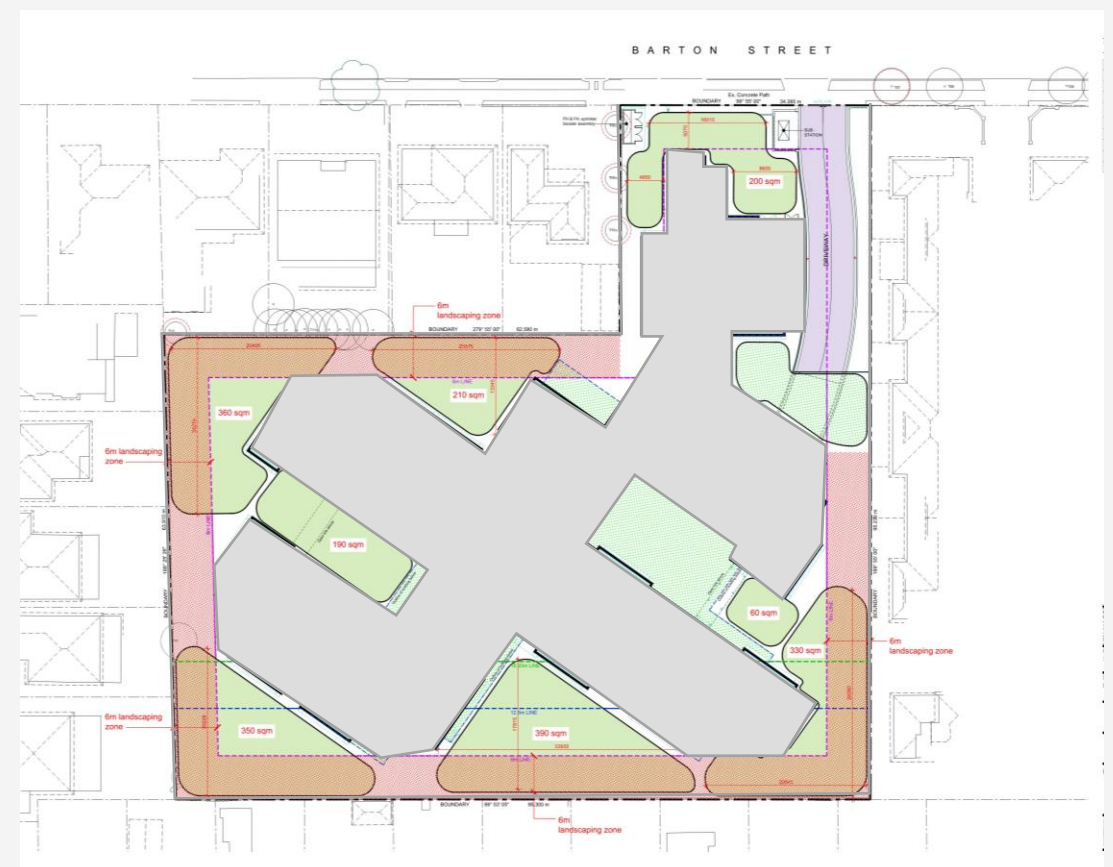
the neighbours, but present the ends of wings to neighbours, rather than a long continuous form. This means that the vast majority of the neighbours instead face a landscaped open space with deep soil planting.

Whilst the building footprint as a result is large, the stepping and orientation means that it presents as a much smaller building than would be the case if it was parallel to the sites boundaries.

As a result, this is a solution that mitigates the bulk and scale of the development to the surrounding context, with predominantly 1 or 2-storey forms presenting to neighbours, and 3-storey elements consolidated in the centre of the site.



Reference Masterplan



DA Proposal

# Landscape and Building areas

The relocation of all parking and services to a basement area creates a distinct benefit to the Reference Scheme.

The large area of hardscape and paved areas, including an above ground waste truck maneuvering area is now concealed within the subject proposal's basement. This will have the benefit of reduced acoustic impacts to neighbours and residents of the subject site.

Similarly, this approach allows for the ground floor footprint to be more intensively landscaped.

The design proposal appears to enable quite large deep soil zones to all the subject sites boundaries, and consideration should be given for appropriate species in these areas that will create shading opportunities for the subject site

and neighbours.

The final landscape plan should maximise the opportunity for screen planting in these locations, which shouldn't compromise the usability of the external recreation spaces for the facility.



## Reference Masterplan



## DA Proposal

# Height

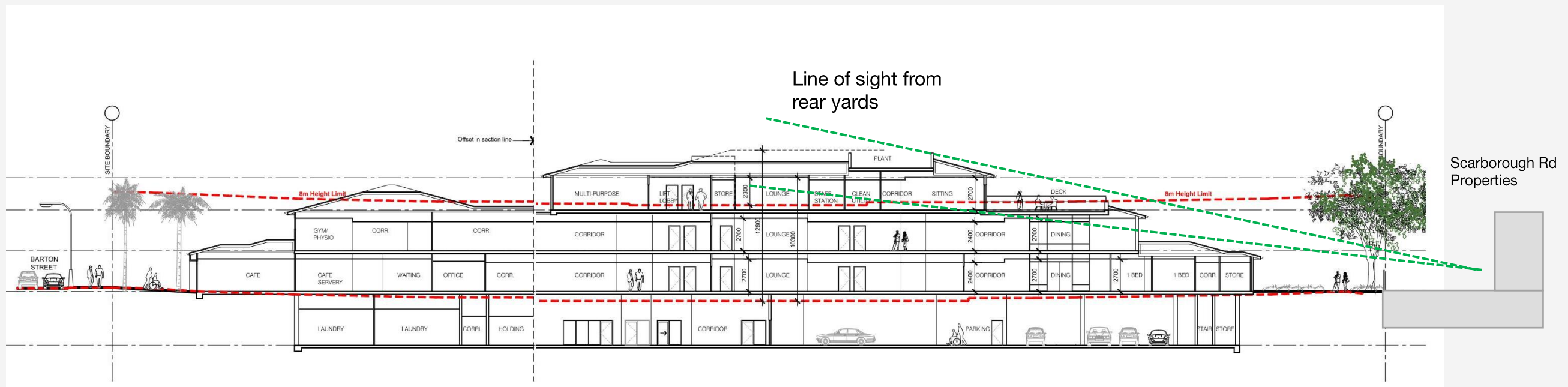
The most significant deviation from the endorsed masterplan is the inclusion of a third level within the proposal.

This third level is located within the centre of the subject site and has been reviewed against its impact on adjacent properties, and amenity for those surrounding dwellings.

The third level has been predominantly recessed within the roof form of the scheme which assists to reduce its visual bulk and appearance from the neighbouring sites. The supplied cross section with comments below shows the extent of the third level that will be apparent to development from the south of the subject site. This is shown as very limited given is setback to neighbours, with only small portions of the third level roof visible.

Key items to consider as part of the design is views and privacy from the roof top terraces to primary private open spaces of adjacent neighbours. Privacy screens and orientation of the terraces needs to be considered in order to provide a more balanced sharing of amenity between sites.

The rotation of the building on the subject site creates an orientation of these roof terraces away from the neighbours. This should allow for appropriate positioning, and selection of heights for privacy screens. These screens would then remove any remaining privacy and overlooking concerns and assist in creating an appropriate transition to adjacent neighbours.



Extract from Boffa Robertson DA Submission drawings

# Shadow Analysis

The reference scheme prepared as part of the Planning proposal contained shadow analysis drawings, that demonstrated the impact of 2-Storey built form on the subject site.

This analysis showed minor additional overshadowing was created as part of a redevelopment of the subject site, but limited to the early morning, and late afternoon in mid-winter.

The June 21<sup>st</sup> 9am, and 3pm shadows show a minor increase in overshadowing to the rear yards of the properties along Scarborough Street, due to a two-storey built form setback approximately 8m from the Southern boundary

For other times of the day, the proposals setbacks to the boundaries, mean that any overshadowing impact is the same, or less than the existing situation in mid-winter.



JUNE 21 09:00AM

Extract Reference Masterplan



JUNE 21 03:00PM

Extract Reference Masterplan

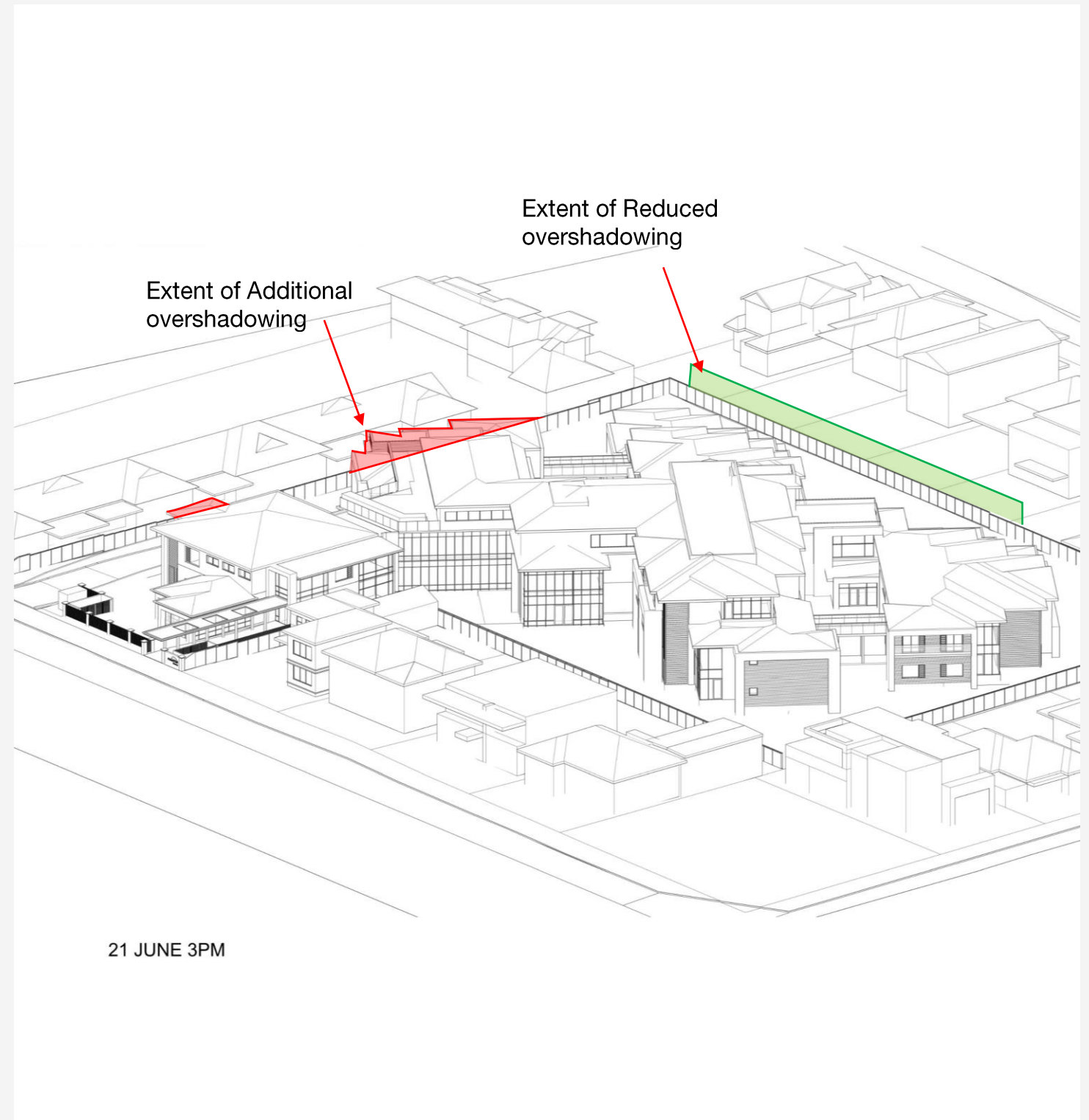
# Shadow Analysis

Reviewing the design proposal against the overshadowing analysis submitted with the Planning proposal identifies on minor additional overshadowing to neighbouring properties.

This overshadowing occurs only at 3pm on the Winter Solstice, with a portion of the building overshadowing part of the property at 121 Barton Street.

The dwellings at 121 Barton street are not overshadowed by the subject proposal at other times on the 21st June and could be demonstrated through more detail solar analysis to receive the required amount of solar access.

The Design proposal has a more significant increase in setback to the southern boundary shared with 9 separate properties, and as such leads to an increase in solar access for those dwellings, than was anticipated in the reference masterplan.



Extract from Boffa Robertson DA Submission drawings

# Summary

## Summary

The subject proposal whilst of a different typology of development to that considered as part of the reference masterplan can achieve similar levels of amenity for the adjacent neighbours

- Detailed shadow analysis demonstrates solar impacts are minimised to all neighbours
- Basement carparking and services enables reduction in amenity impacts to the sites neighbours when compared to the reference masterplan
- The Built form and massing, whilst in direct contrast to the prevailing built form pattern, enables the development to present as a more articulated building form to neighbours
- The additional setbacks to Barton street of the proposal enable the provision of a new landscaped setback zone.

## Recommendations for consideration

- A more detailed analysis needs to be undertaken of privacy and overlooking from the roof terraces. These spaces rotation in relation to the property boundary would allow them to be relatively easily screened, or preferably integrated within the overall built form of the roof without compromising their usability by residents.
- Any additional screening should be located to avoid creating additional overshadowing to neighbours.
- Selection of trees and clarification of proposed deep soil landscape zones to the properties main shared boundaries. Taking advantage of the deep soil landscaping that is provided over and above the reference masterplan is a distinct advantage of this proposal.